



**COMMUNITY DEVELOPMENT RESOURCE AGENCY
PLANNING DIVISION**
County of Placer

HEARING DATE: May 17, 2018
TIME: 11:00 AM

TO: Zoning Administrator
FROM: Development Review Committee
DATE: April 27, 2018
SUBJECT: Saddleback Community Mailbox Shelter Variance (PLN18-00125)

PLAN AREA: Auburn/Bowman Community Plan

GENERAL PLAN DESIGNATION: Rural Residential 2.3 – 4.6 Ac. Min.

ZONING: F-AO 4.6 Ac. Min; F-FH-AO 4.6 Ac. Min. (Farm, Combining Airport Overflight, Combining 4.6 Acre Minimum; Farm, Combining Flood Hazard, Combining Airport Overflight, Combining 4.6 Acre Minimum)

ASSESSOR'S PARCEL NUMBER: 076-390-001-000

STAFF PLANNER: Kally Keding-Cecil, Assistant Planner

LOCATION: 0.17 miles north of the intersection of Dry Creek Road and Blue Grass Drive, on the west side of 14545 Riva Ridge Road.

APPLICANT: K.P. Martin General Engineering, Inc. on behalf of the Saddleback Homeowners Association

PROPOSAL:

The applicant requests approval of a Variance to allow for the replacement and reconstruction of a mailbox shelter 0 feet from the edge of easement on Blue Grass Drive where 50 feet is normally required.

CEQA COMPLIANCE:

The project is categorically exempt from environmental review pursuant to provisions of Section 15303 of the California Environmental Quality Act Guidelines and Section 18.36.050(E) of the Placer County Environmental Review Ordinance (Class 3 – New Construction) because the proposed structure is an accessory structure.

BACKGROUND/ANALYSIS:

Staff conducted a field review on April 12, 2018. The existing mailbox shelter is located on a turnout constructed on the west side of 14545 Riva Ridge Road, a 6.1-acre residential property. The mailbox shelter is approximately 0.17 miles north of the intersection of Dry Creek Road and Blue Grass Drive.

The mailbox shelter is used by the residents of the Saddleback subdivision. The shelter is accessed by a turnout adjacent to Blue Grass Drive. The concrete for the turnout and the mailboxes were installed

prior to the shelter. A building permit was not obtained or likely required for the shelter, however the Saddleback Homeowner's Association President provided drawings for the shelter dated 1993.

The shelter is outside of the right of way for Blue Grass Drive but is within the property lines of the Riva Ridge Road property. The property owner has allowed the shelter to be constructed and used on the property and has submitted a letter stating the shelter can continue to be used in its current location.

The existing shelter is 9 feet tall and approximately 324 square feet. The proposed shelter would be expanded to 10.5 feet tall and 432 square feet. Lighting is proposed in the shelter and an existing light pole provides additional lighting.

The site plans submitted for the project show the roofline of the mailbox extending to the edge of the property line. River rock and railroad ties act as a barrier between Blue Grass Drive and the mailbox. The mailbox faces the turnout to the east, so drivers can safely access the mailbox without stopping on the side of Blue Grass Drive. Additionally, the mailbox is conditioned to prohibit eaves or roofing to project into the setback, further ensuring the structure avoids extending into the roadway.

Special Circumstances:

Many subdivisions install mailbox shelters on common lots or near the subdivision entrance. The Saddleback subdivision does not have any common lots where community amenities can be located. The Saddleback subdivision entrance at the intersection of Blue Grass Drive and Dry Creek Road has two lots designated as "Non Valid Building Sites" flanking the sides of Blue Grass Drive. Both of these lots are too close to the intersection for motorists to safely decrease speed to approach a structure. Blue Grass Drive slopes downhill from Dry Creek Road before flattening out. The slope further prevents the structure from being located closer to the subdivision entrance. The road begins to flatten out at a crossing over Dry Creek, which has a Flood Hazard designation on either side. The existing location is outside of the Flood Hazard zone.

The existing location of the mailbox shelter is on private property. A row of trees screens the shelter from the home. If the mailbox shelter were moved outside of the 50 foot setback, it would be in this row of trees, and the natural screening provided by the trees would be lost. This would have an adverse impact on the property and would limit the property owner's sense of privacy.

Given the lack of a common area to place the shelter, the slope of Blue Grass Drive, the location of Dry Creek and the associated Flood Hazard zone, the existing location is the most logical placement of the mailbox shelter. This location also has the least amount of impact on the private property owner where the shelter is located. Staff finds that the strict application of the setbacks would deprive the property of privileges enjoyed by other properties in the vicinity in the same zone district.

PUBLIC NOTICES AND REFERRAL FOR COMMENTS:

Public notices were mailed to property owners of record within 300 feet of the project site and posters were posted at conspicuous places on, or adjacent to, the land affected. Other appropriate agencies, public interest groups, and citizens were sent copies of the public hearing notice. Community Development Resource Agency staff including the Engineering and Surveying Division, Environmental Health Division, and the Department of Public Works and Facilities were transmitted copies of the project plans and application for review and comment. Comments received from County staff have been incorporated into this report. No comments from the public were received at the time of this report.

RECOMMENDATION:

Staff recommends approval of a Variance to allow for the replacement and reconstruction of a mailbox shelter 0 feet from the edge of easement on Blue Grass Drive where 50 feet is normally required.

FINDINGS:

CEQA:

The project is categorically exempt from environmental review pursuant to provisions Section 15301 of the California Environmental Quality Act Guidelines and Section 18.36.050(E) of the Placer County Environmental Review Ordinance (Class 3 – New Construction) because the proposed project is an accessory structure.

VARIANCE:

1. There are special circumstances applicable to the location of the mailbox shelter, including the slope of Blue Grass Drive, the location of Dry Creek and the Flood Hazard zone, and the absence of a common lot where the mailbox shelter could be relocated, and because of these circumstances the strict application of the Zoning Ordinance has been found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under similar zoning classifications.
2. The granting of this Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties and in the same zone district, in that residential accessory structures including mailbox shelters are allowed in residential zone districts.
3. The Variance does not authorize a use that is otherwise not allowed in the F-AO 4.6 Ac. Min. (Farm, Combining Airport Overflight, Combining Minimum Building Site of 4.6 Acres) zone district, in that residential accessory structures including mailbox shelters are allowed in residential zone districts.
4. The granting of this Variance does not, under the circumstances and conditions applied in this particular case, adversely affect public health and safety, is not materially detrimental to the public welfare, nor injurious to nearby property or improvements, in that the mailbox shelter expansion will not encroach over other property lines and will be consistent with the existing development. These factors ensure that the granting of the Variance will not create detriment to the public or general welfare of neighboring residences of residents.
5. The Variance is consistent with the Auburn/Bowman Community Plan.
6. The Variance is not the minimum departure from the applicable requirements of Section 17.54.140: Setbacks and Yards, as the request is for a 0 foot setback; however staff finds the location is severely limited by the existing circumstances.

CONDITIONS OF APPROVAL:

1. Approval of this Variance allows for the replacement and reconstruction of a mailbox shelter 0 feet from the edge of easement on Blue Grass Drive where 50 feet is normally required. (PLN)
2. A Building Permit shall be obtained for the proposed new construction. (PLN)
3. No portions of the structure including roof, eaves, or gutter shall extend over the property line. (PLN)
4. Any entrance temporary or permanent structure proposed shall be located such that there is no interference with driver site distance as determined by the Engineering and Surveying Division, and shall not be located in the right-of-way. (ESD)
5. An Encroachment Permit shall be obtained from the Department of Public Works and Facilities (DPWF) for any work performed within the right-of-way. (ESD)

6. The applicant shall, upon written request of the County, defend, indemnify, and hold harmless the County of Placer, the County Board of Supervisors, and its officers, agents and employees, from any and all actions, lawsuits, claims, damages, or costs, including attorney's fees awarded by a certain development project known as PLN18-00125 Saddleback Mailbox Shelter Variance. The applicant shall, upon written request of the County, pay or, at the County's option, reimburse the County for all costs for preparation of an administrative record required for any such action, including the costs of transcription, County staff time, and duplication. The County shall retain the right to elect to appear in and defend against any such action on its own behalf regardless of any tender under this provision. This indemnification obligation is intended to include, but not be limited to, actions brought by third parties to invalidate any determination made by the County under the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) for the Project or any decisions made by the County relating to the approval of the Project. Upon request of the County, the applicant shall execute an agreement in the form approved by County Counsel incorporating the provision of this condition. (PLN)
7. This Variance (PLN18-00125) shall expire on May 17, 2020 unless previously exercised with issuance of a building permit for the mailbox shelter. (PLN)

ATTACHMENTS:

Attachment A: Site Plans and Elevations

Attachment B: Photos

Attachment C: Engineering and Surveying Division Memo

Attachment D: Environmental Health Services Division Memo

cc: Cristina Lupercio – Engineering and Surveying Division
Joseph Scarbrough – Environmental Health Services Division
Kevin Martin – Applicant
Sylvia and Philip Fontes – Property Owners
Marshall Westfall – Saddleback Homeowners Association President

SADDLEBACK COMMUNITY

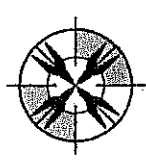
AUBURN, CA

RECEIVED

MAR 28 2018

CDRA

PRECISION DESIGN ARCHITECTURE ENGINEERING SURVEYING
1768 ATWOOD RD, STE 20
AUBURN, CA 95603
WWW.PDND.COM
(930) 823-6546

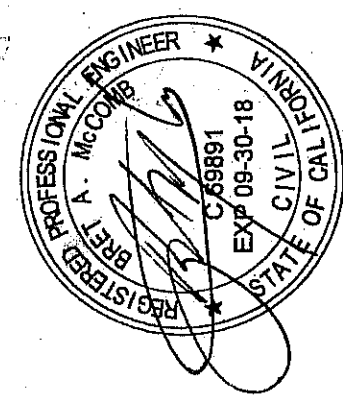


REVISIONS

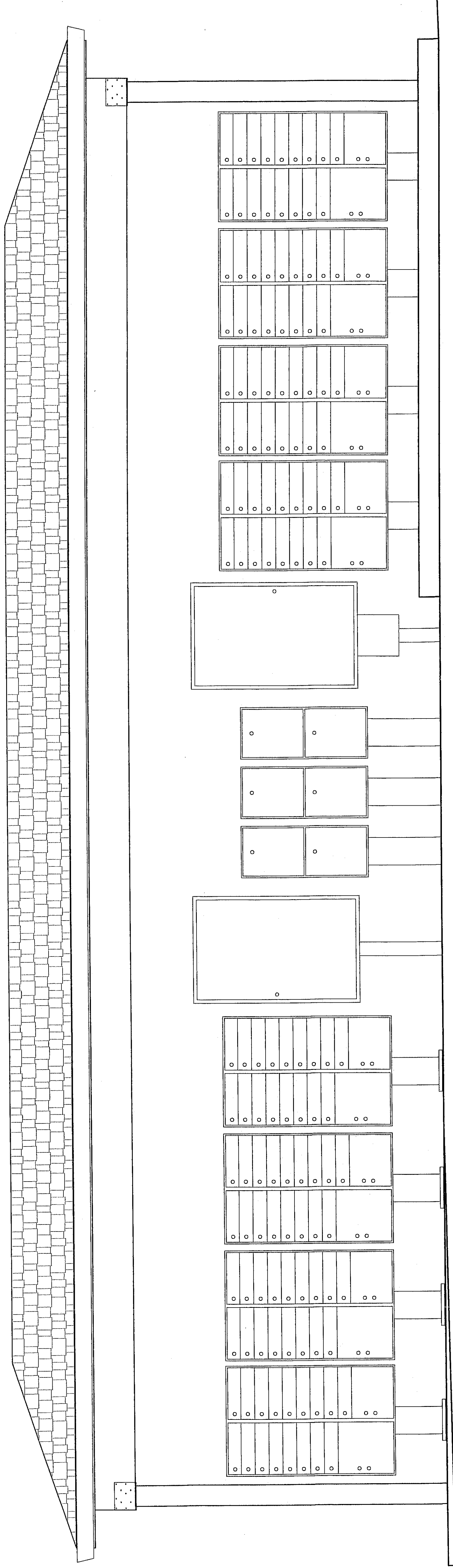
Δ	DATE	DESCRIPTION
---	------	-------------

CLIENT INFORMATION
SADDLEBACK COMMUNITY ROAD 4550C
P.O. BOX 6691
AUBURN, CA 95604

SADDLEBACK COMMUNITY
MAIL BOX SHELTER
BLUE GRASS DR
AUBURN, CA 95602



PROJECT #:	17-070
APN:	076-390-001
ISSUE DATE:	01-18-2018
DRAWN:	J. SETTING
APPROVED:	B. MCGOMB
DRAWING TITLE:	COVER SHEET
CATEGORY:	G
NUMBER:	1



PROJECT SCOPE OF WORK
REMOVAL OF ALL EXISTING MAIL BOX COVER AND CONCRETE SLAB AND TEMPORARY RELOCATION OF MAIL BOXES WHILE NEW MAIL BOX COVER AND CONCRETE SLAB IS INSTALLED. INSTALLATION OF MAIL BOXES UNDER NEW COVER AND DRY CRACKS OF EXISTING COVER ASPHALT TURN OUT.

DESIGN CRITERIA

WIND SPEED & EXPOSURE	U	1.0MPH EXPOSURE C
EISMIC CATEGORY	D	450
ROOF LOADS	DL + 20PSF	LL
FLOOR LOADS	DL + 40PSF	
SOIL BEARING	1.500PSF	
CLIMATE ZONE	I	"STIFF SOIL"
SITE CLASS	D	

BLDG. INFORMATION

OCCUPANCY:	U
TYPE OF CONSTRUCTION:	IH-B
AREA:	265 SQ. FT.
MAIL BOX COVER:	355 SQ. FT.
PROJECT JOB:	076-390-001
PARCEL:	

SHEET INDEX

C1	COVER SHEET
C2	SITE DEMOLITION PLAN
C3	ENLARGED SITE PLAN, FLOOR PLAN, & ELEVATIONS
A1	FOUNDATION PLAN, ROOF FRAMING PLAN, SECTION, & DETAILS

DRAWINGS ISSUED

DATE	BY	REVISION

APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE (Title 24)
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- ANY OTHER LOCAL CODES, RULES, OR REGULATIONS.

SYMBOLS

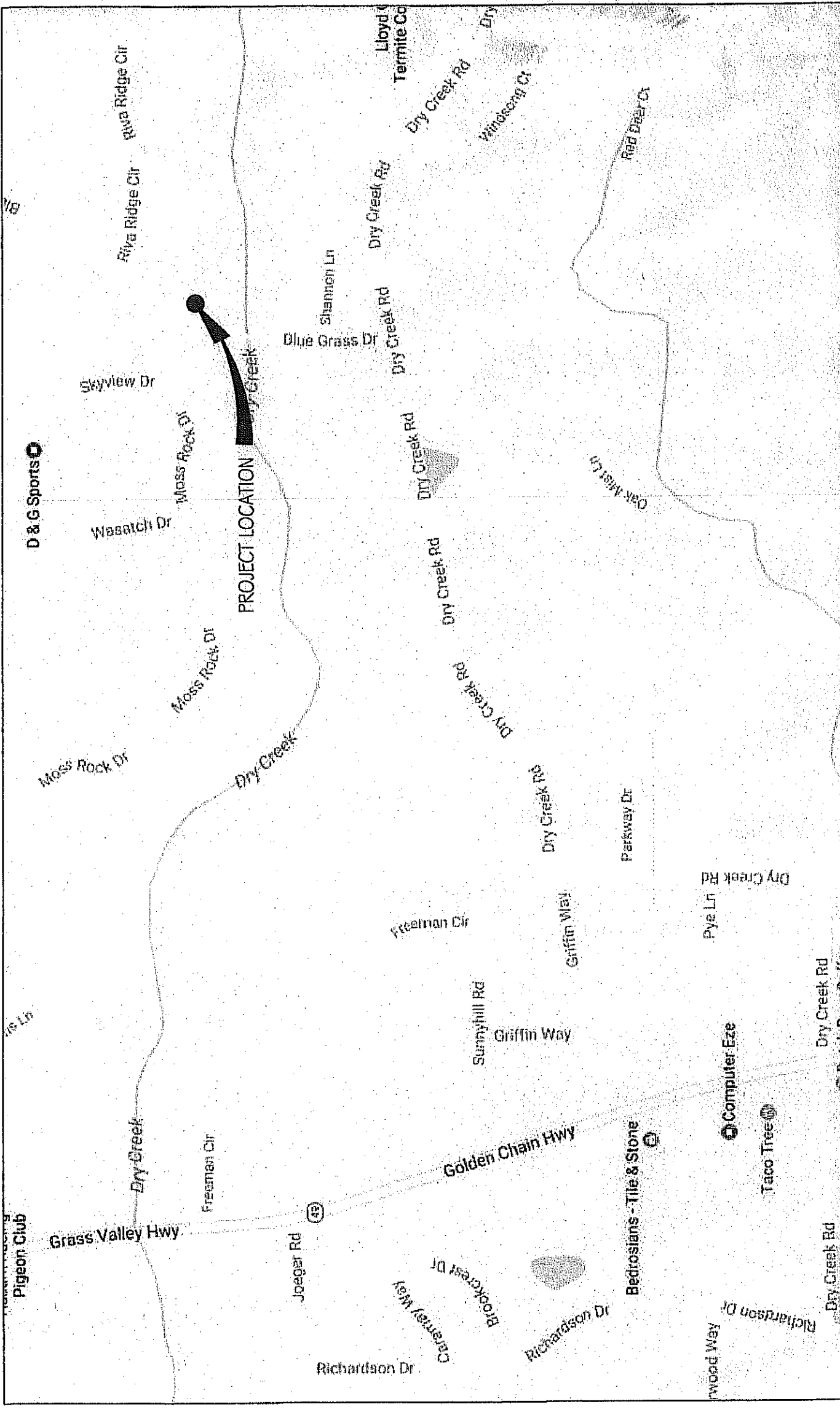
①	33	DETAIL NUMBER
ⓐ	34	SHEET NUMBER
②	34	DETAIL NUMBER
③	34	SHEET NUMBER
1:1/2		SLOPE ARROW
1:1/2	DOWN	SLOPE ARROW
#		STRUCTURAL GRID
6/12		ROOF SLOPE
↗		SHEAR WALL CALLOUT
▲		SHEAR WALL HOLDOWN
—		SHEAR WALL STRAP TIE

ABBREVIATIONS

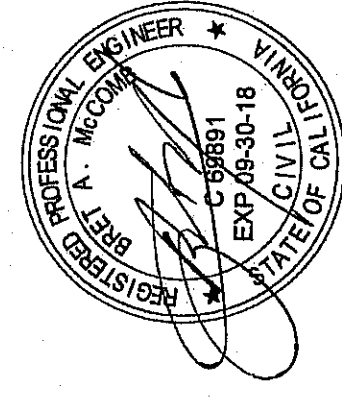
A.B.	AGGREGATE BASE	F2	POUNDS PER SQUARE INCH
A.C.	ASPHALT CONCRETE	F.T.	FOOTING
A.C.	ASPHALT CONCRETE	Q.T.	QUARRY TILE
A.D.	ACCESSORY	R.D.	ROOF DRAIN
A.D.	ADJUSTABLE	R.F.	REINFORCE
A.D.	ADJUSTABLE	R.O.	ROOM
A.D.	ADJUSTABLE	R.O.	ROOM OPENING
A.D.	ADJUSTABLE	R.W.	RAIN WATER LEADER
A.D.	ADJUSTABLE	S.F.	SELF FINISHED FLASHING
A.D.	ADJUSTABLE	S.C.	SOLID CORE
A.D.	ADJUSTABLE	S.H.T.	SHEET
A.D.	ADJUSTABLE	S.M.	SIMILAR
A.D.	ADJUSTABLE	S.M.S.	SHEET METAL SCREW
A.D.	ADJUSTABLE	S.P.	SPACING
A.D.	ADJUSTABLE	S.S.	STAINLESS STEEL
A.D.	ADJUSTABLE	S.T.	STANDARD
A.D.	ADJUSTABLE	S.T.D.	STANDARD
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL

A.B.	AGGREGATE BASE	F2	POUNDS PER SQUARE INCH
A.C.	ASPHALT CONCRETE	F.T.	FOOTING
A.C.	ASPHALT CONCRETE	Q.T.	QUARRY TILE
A.D.	ACCESSORY	R.D.	ROOF DRAIN
A.D.	ADJUSTABLE	R.F.	REINFORCE
A.D.	ADJUSTABLE	R.O.	ROOM
A.D.	ADJUSTABLE	R.O.	ROOM OPENING
A.D.	ADJUSTABLE	R.W.	RAIN WATER LEADER
A.D.	ADJUSTABLE	S.F.	SELF FINISHED FLASHING
A.D.	ADJUSTABLE	S.C.	SOLID CORE
A.D.	ADJUSTABLE	S.H.T.	SHEET
A.D.	ADJUSTABLE	S.M.	SIMILAR
A.D.	ADJUSTABLE	S.M.S.	SHEET METAL SCREW
A.D.	ADJUSTABLE	S.P.	SPACING
A.D.	ADJUSTABLE	S.S.	STAINLESS STEEL
A.D.	ADJUSTABLE	S.T.	STANDARD
A.D.	ADJUSTABLE	S.T.D.	STANDARD
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL
A.D.	ADJUSTABLE	S.T.	STEEL

VICINITY MAP
NOT TO SCALE



SADDLEBACK COMMUNITY MAIL BOX SHELTER BLUE GRASS DR AUBURN, CA 95602



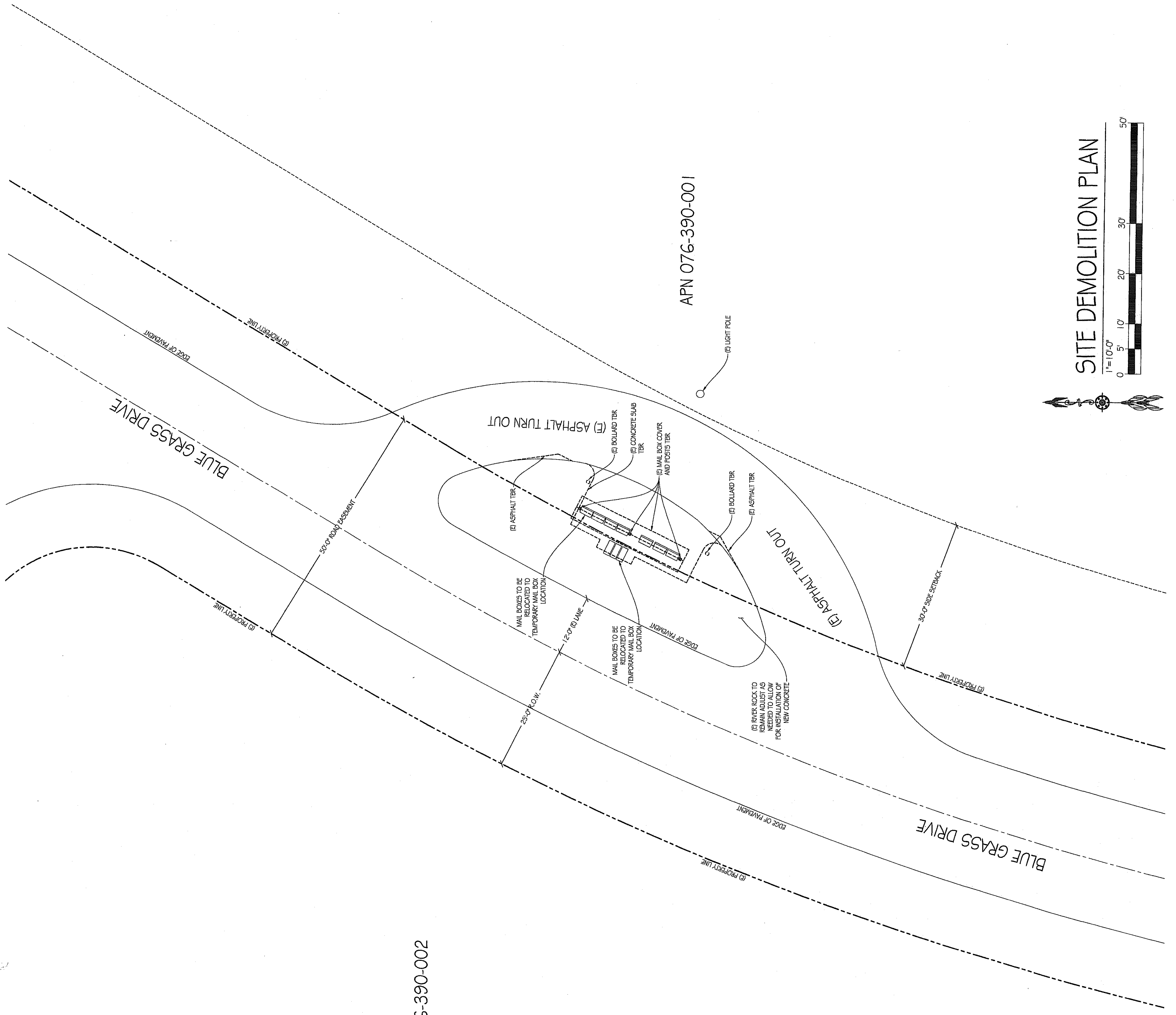
PROJECT #:	17-070
APN:	076-390-001
ISSUE DATE:	01-18-2018
DRAWN:	J. SETTING
APPROVED:	B. MCCOMB
DRAWING TITLE:	SITE DEMOLITION PLAN
CATEGORY:	C
NUMBER:	1

CLIENT INFORMATION
 SADDLEBACK COMMUNITY ROAD ASSOC.
 P.O. BOX 6691
 AUBURN, CA 95604

PRECISION DESIGN
 ARCHITECTURE ENGINEERING SURVEYING

11768 ATWOOD RD, STE 20
 AUBURN, CA 95603
 WWW.PDND.COM
 (530) 823-6546

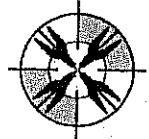
REVISIONS	DATE	DESCRIPTION



SITE DEMOLITION PLAN

1" = 10'-0"

APN 076-390-002



11768 Atwood Rd, Ste 20
Auburn, CA 95603

(530) 823-6546

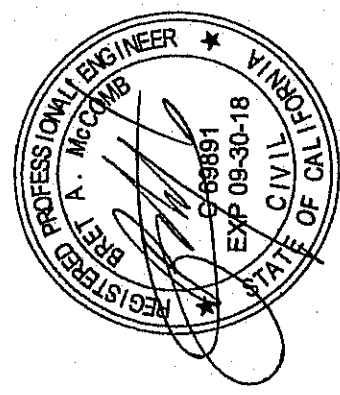
WWW.PDND.COM

THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ENGINEER, ARCHITECT, ENGINEER-GEODETIC SURVEYOR AND PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE CLOSE PERSONAL SUPERVISION AND DIRECT CONTROL OF THE ENGINEER, ARCHITECT, ENGINEER-GEODETIC SURVEYOR AND PROFESSIONAL LANDSCAPE ARCHITECT. THESE DRAWINGS AND SPECIFICATIONS SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THESE PLANS AND SPECIFICATIONS. NO PART OF THESE PLANS AND SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER, ARCHITECT, ENGINEER-GEODETIC SURVEYOR AND PROFESSIONAL LANDSCAPE ARCHITECT.

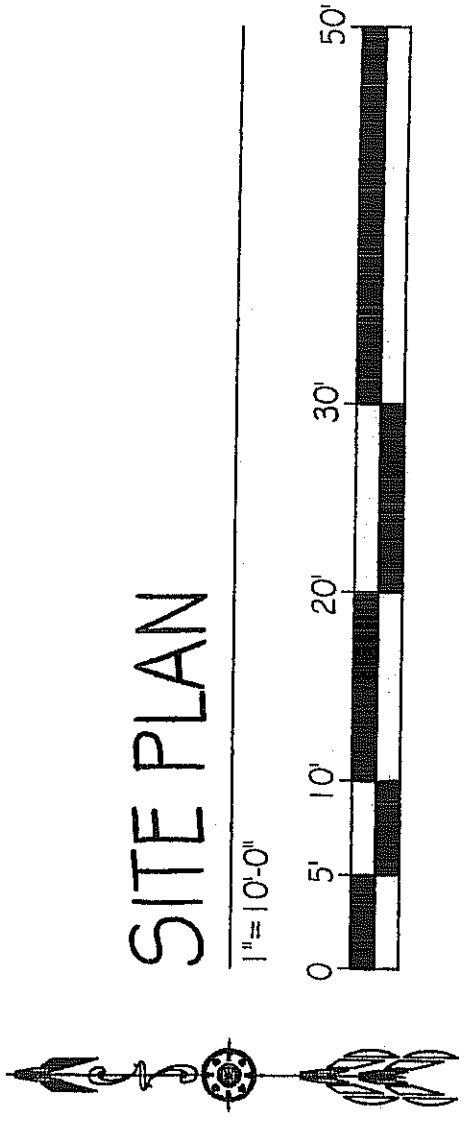
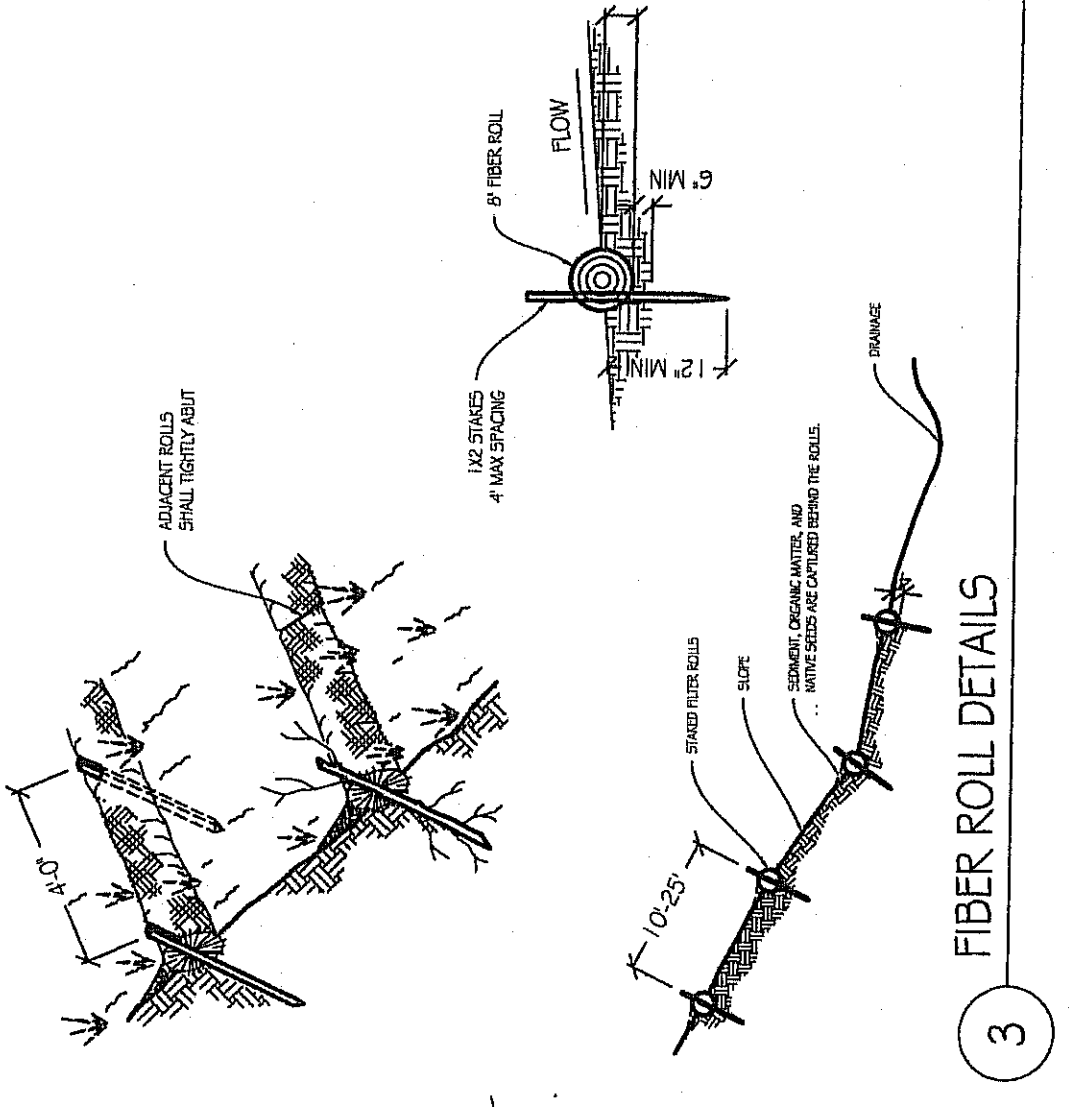
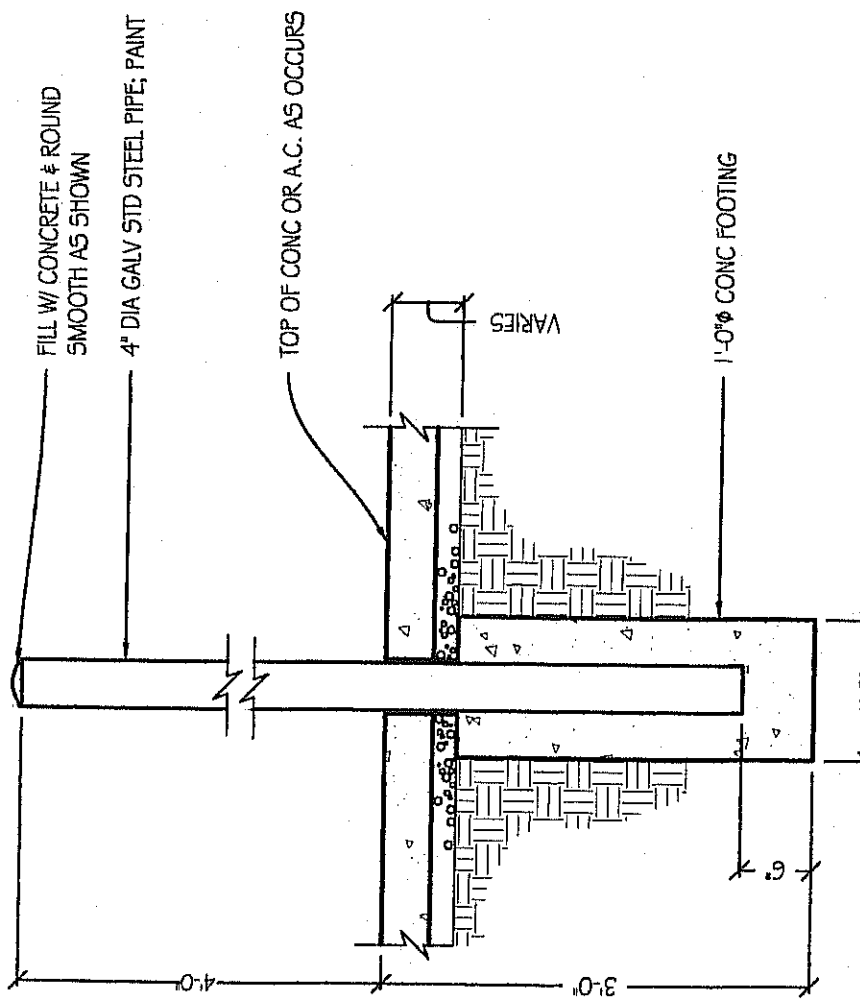
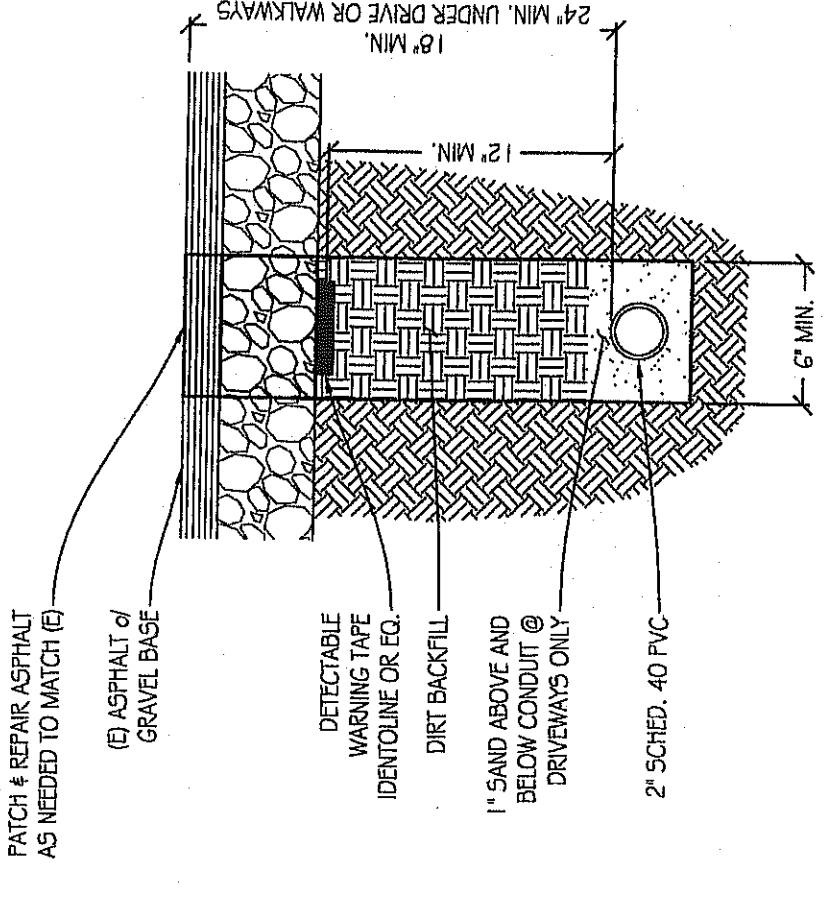
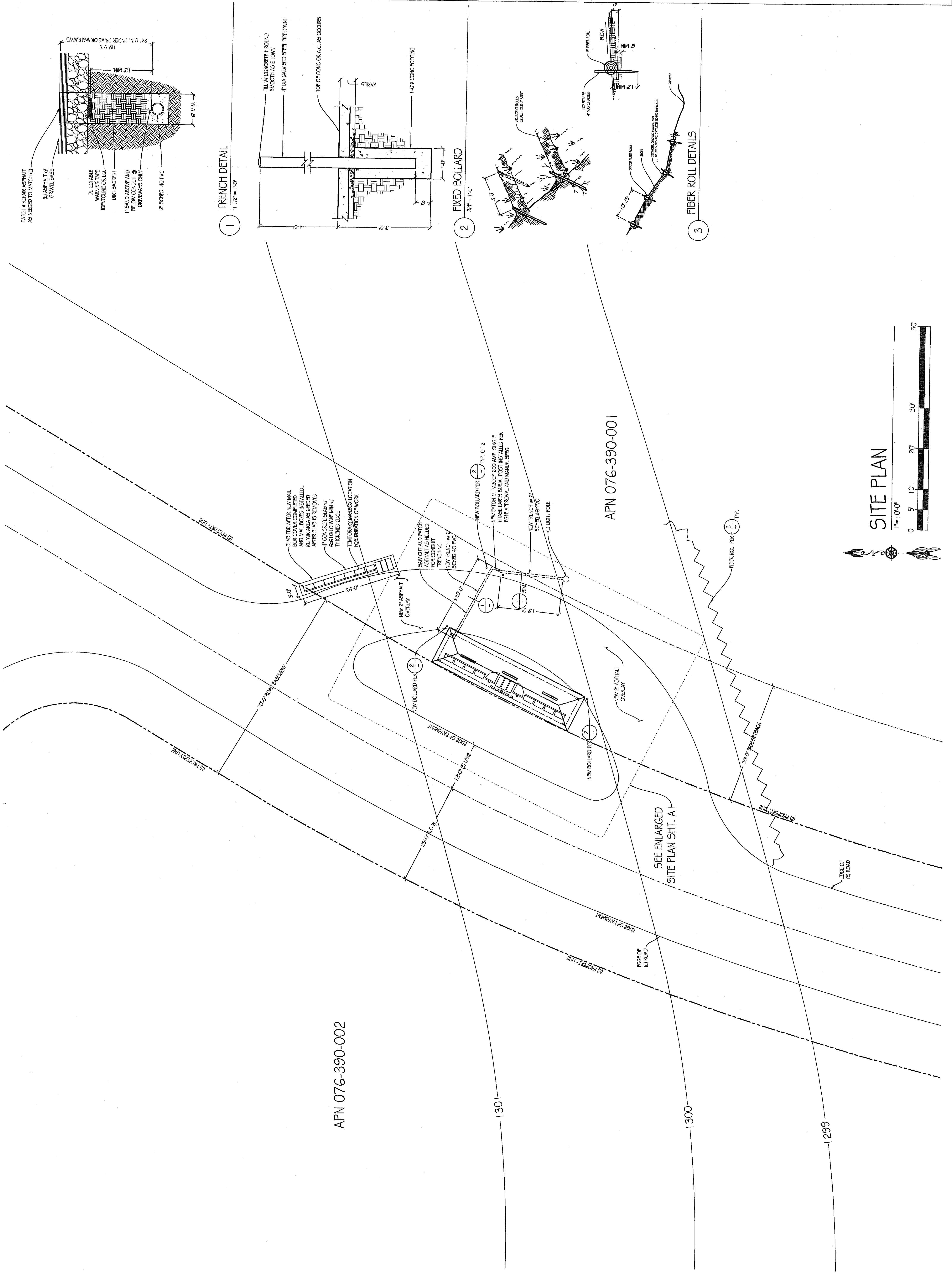
REVISIONS	DATE	DESCRIPTION

CLIENT INFORMATION
SADDLEBACK COMMUNITY ROAD ASSOC.
P.O. BOX 6691
AUBURN, CA 95604

**SADDLEBACK COMMUNITY
MAIL BOX SHELTER**
BLUE GRASS DR
AUBURN, CA 95602



PROJECT #:	17-070
APN:	076-390-001
ISSUE DATE:	01-18-2018
DRAWN:	J. SETTING
APPROVED:	B. MCCOMB
DRAWING TITLE:	SITE PLAN
CATEGORY:	C
NUMBER:	2



APN 076-390-002

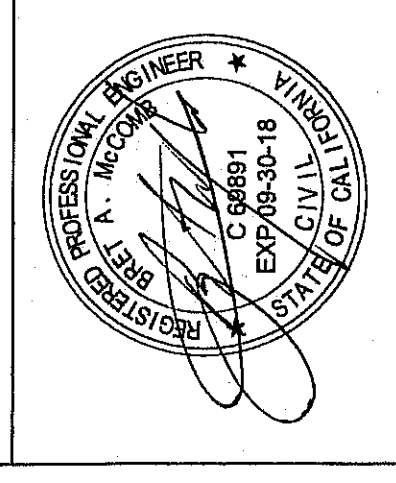
APN 076-390-001

SEE ENLARGED
SITE PLAN SHT. A-1

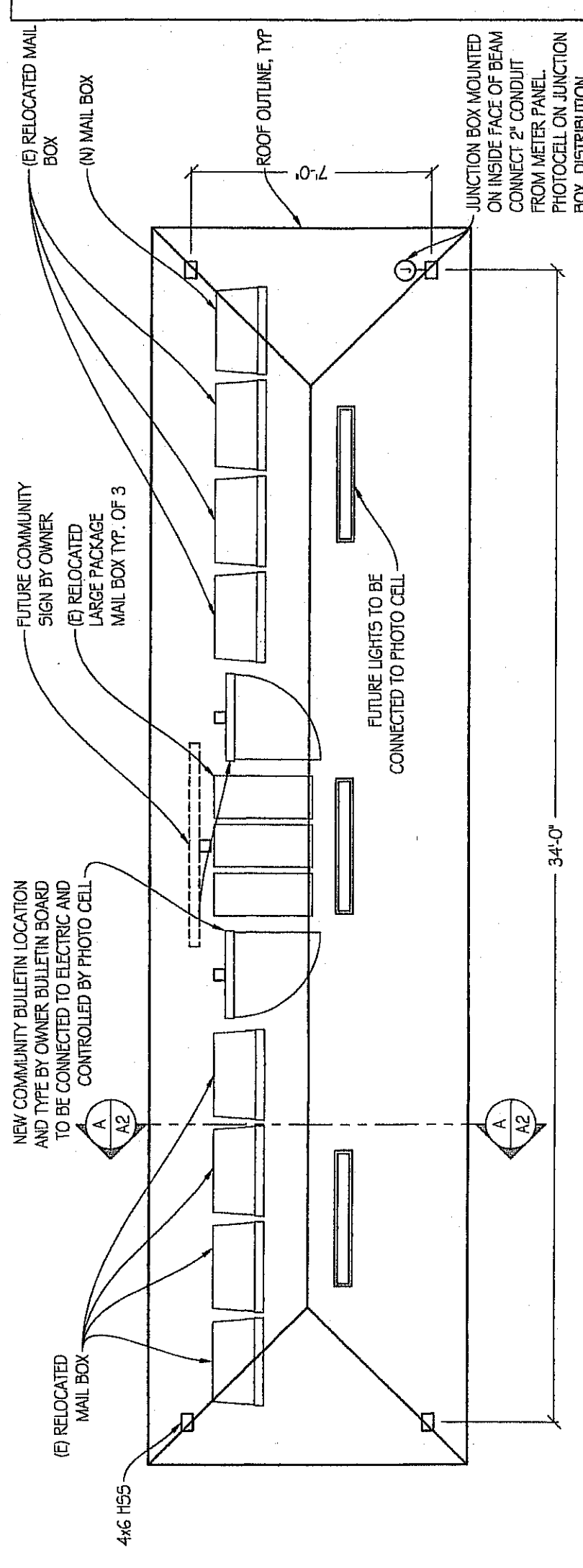
REVISIONS	DATE	DESCRIPTION

CLIENT INFORMATION
 SADDLEBACK COMMUNITY ROAD, 4550C,
 BOX 639
 AUBURN, CA 95604

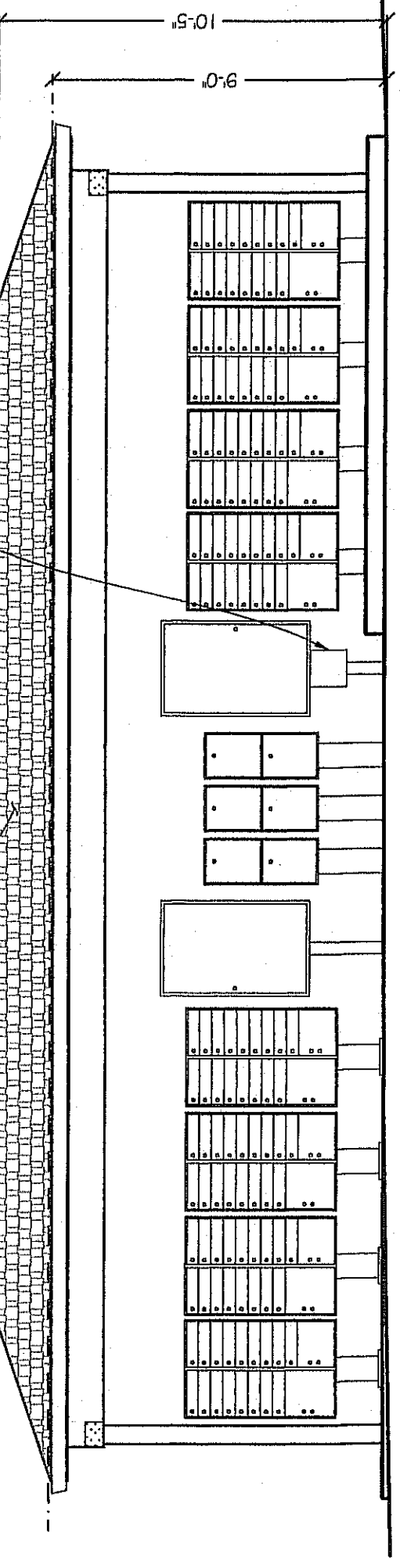
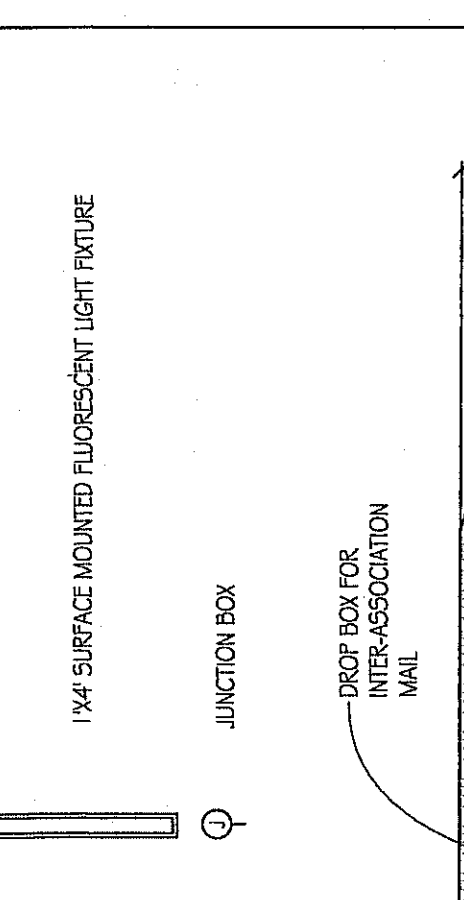
MAL BOX SHELTER
 BLUE GRASS DR
 AUBURN, CA 95602



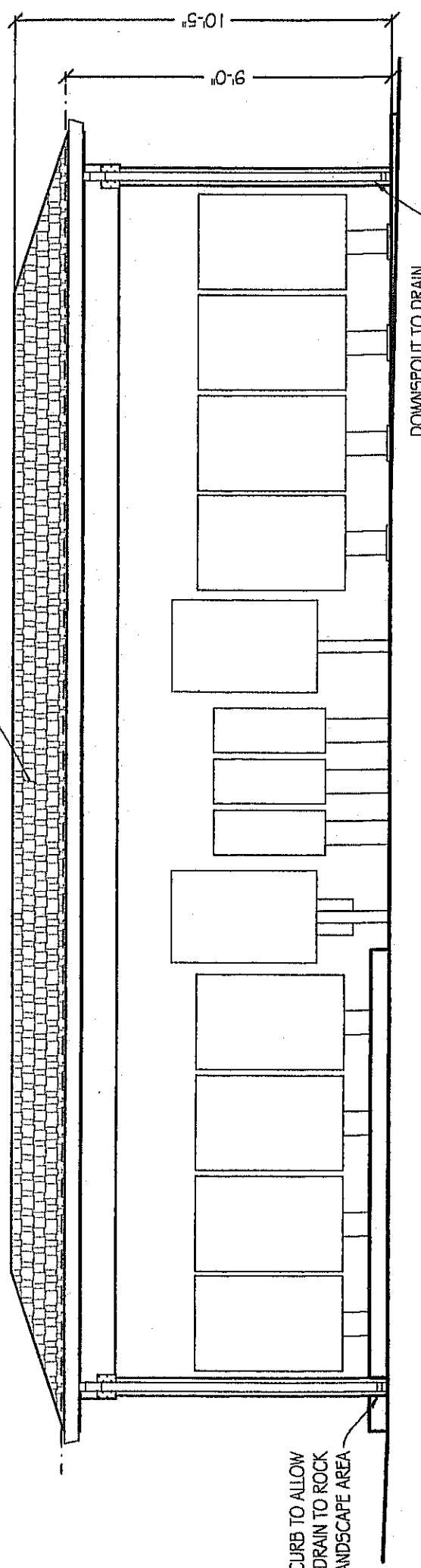
PROJECT #	17-070
APN	076-390-001
ISSUE DATE	01-18-2018
DRAWN	J. SETTING
APPROVED	B. McCOMB
DRAWING TITLE	ENLARGED SITE PLAN, FLOOR PLAN, #ELEVATIONS
CATEGORY	A
NUMBER	1



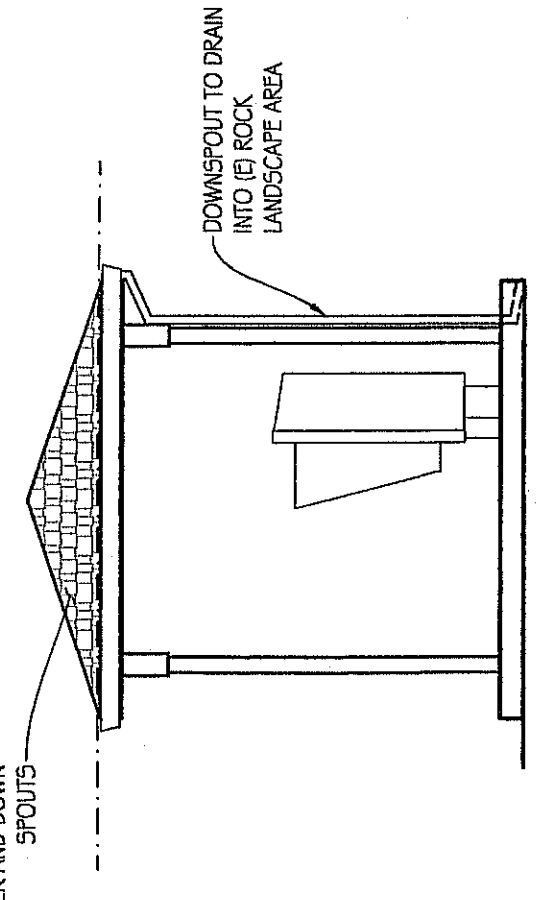
FLOOR PLAN
 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

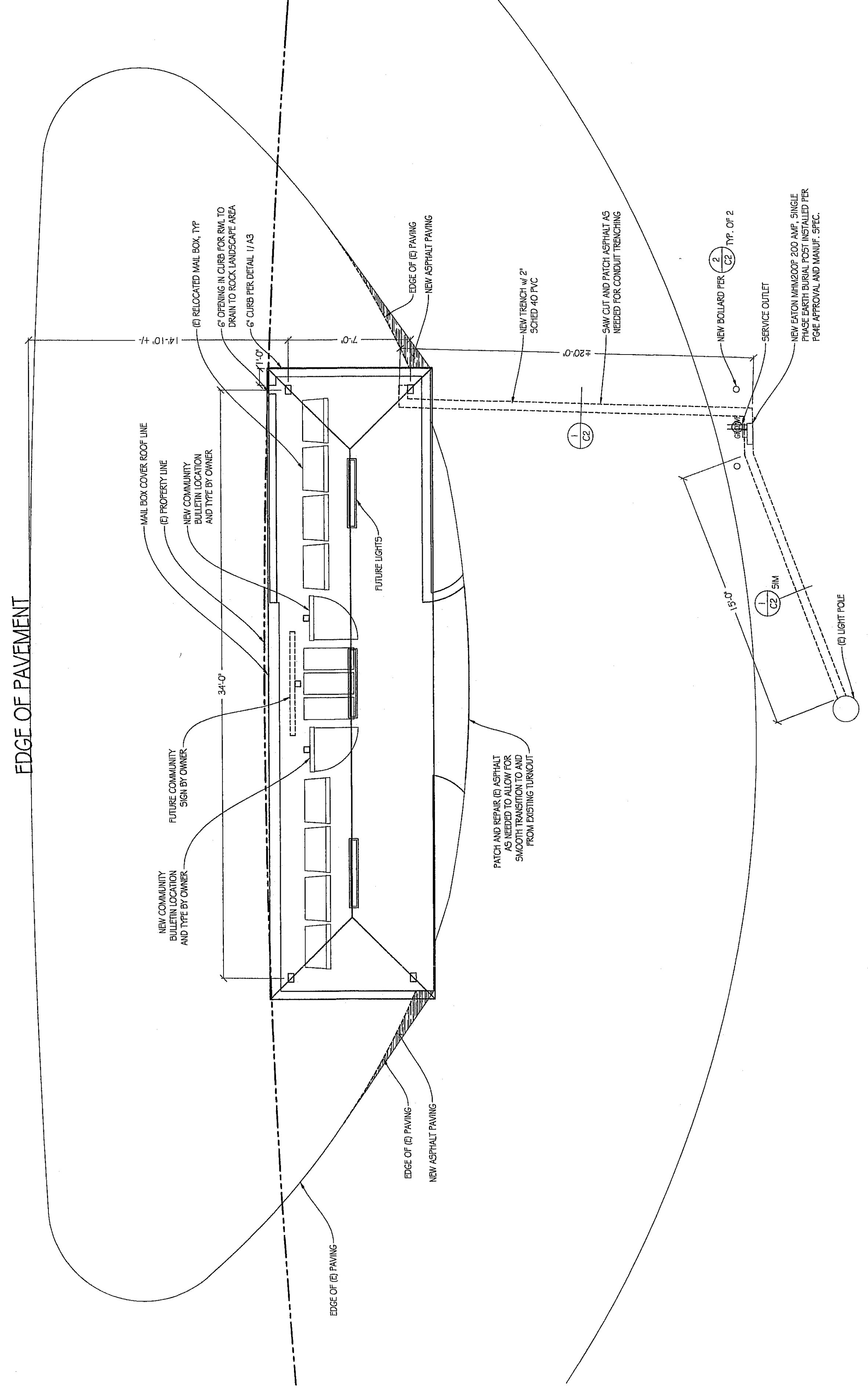


REAR ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



ENLARGED SITE PLAN
 1/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR SHALL VERIFY SITE CONDITIONS AND ALL DIMENSIONS PRIOR TO STARTING WORK, ORDERING MATERIAL OR BUILDING. NOTIFY OWNER OF ANY DISCREPANCIES.
- THE CONTRACTORS SHALL FULLY COORDINATE WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL COMPONENTS OF THE BUILDING.
- ALL BUILDING PADS SHALL SLOPE 2% AWAY FROM BUILDING FOR 10'.
4.4.10.1
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGSC 4.4.10.1
- POLLUTANT CONTROL AND EMISSIONS SHALL CONFORM TO CGSC SECTION 4.504

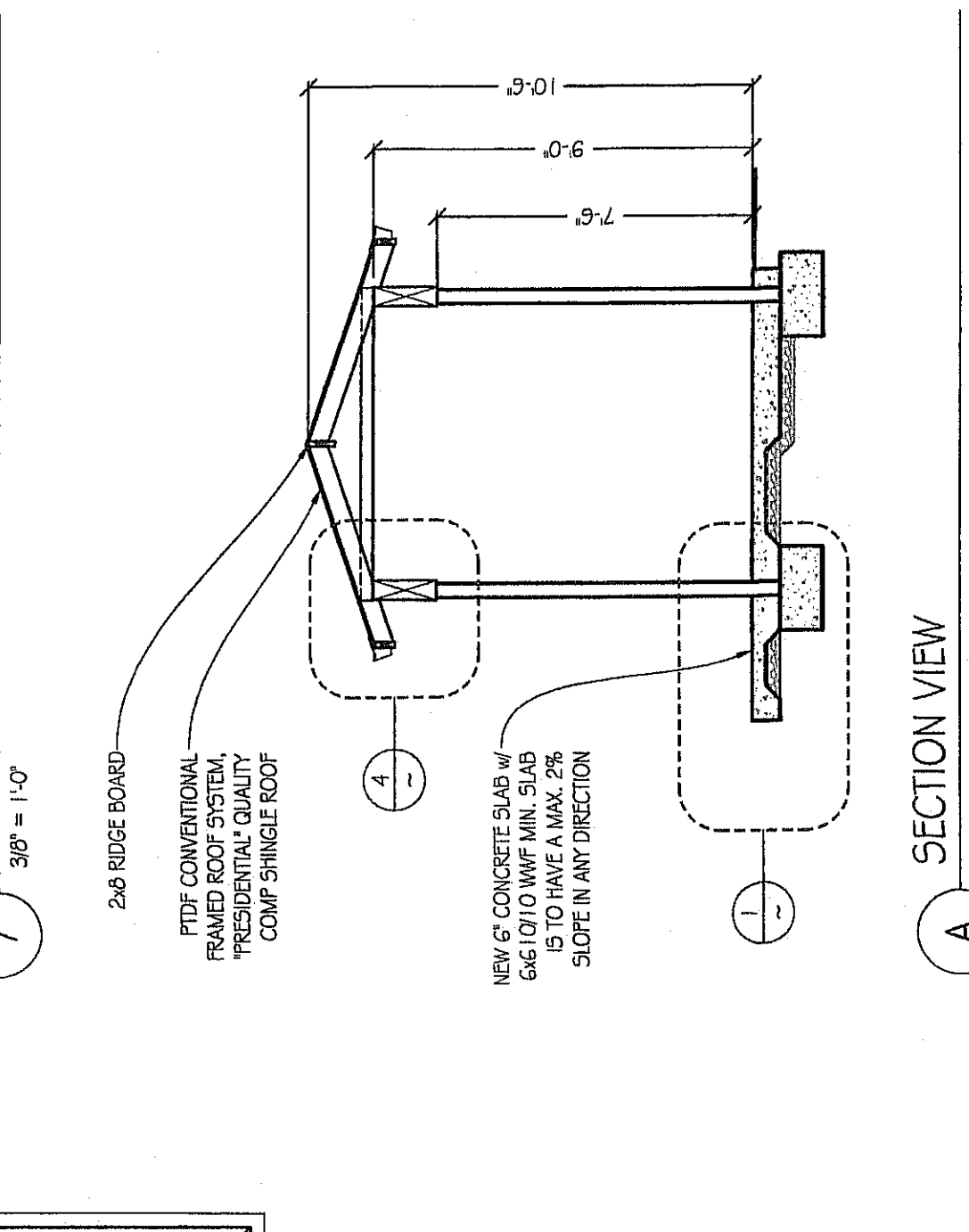
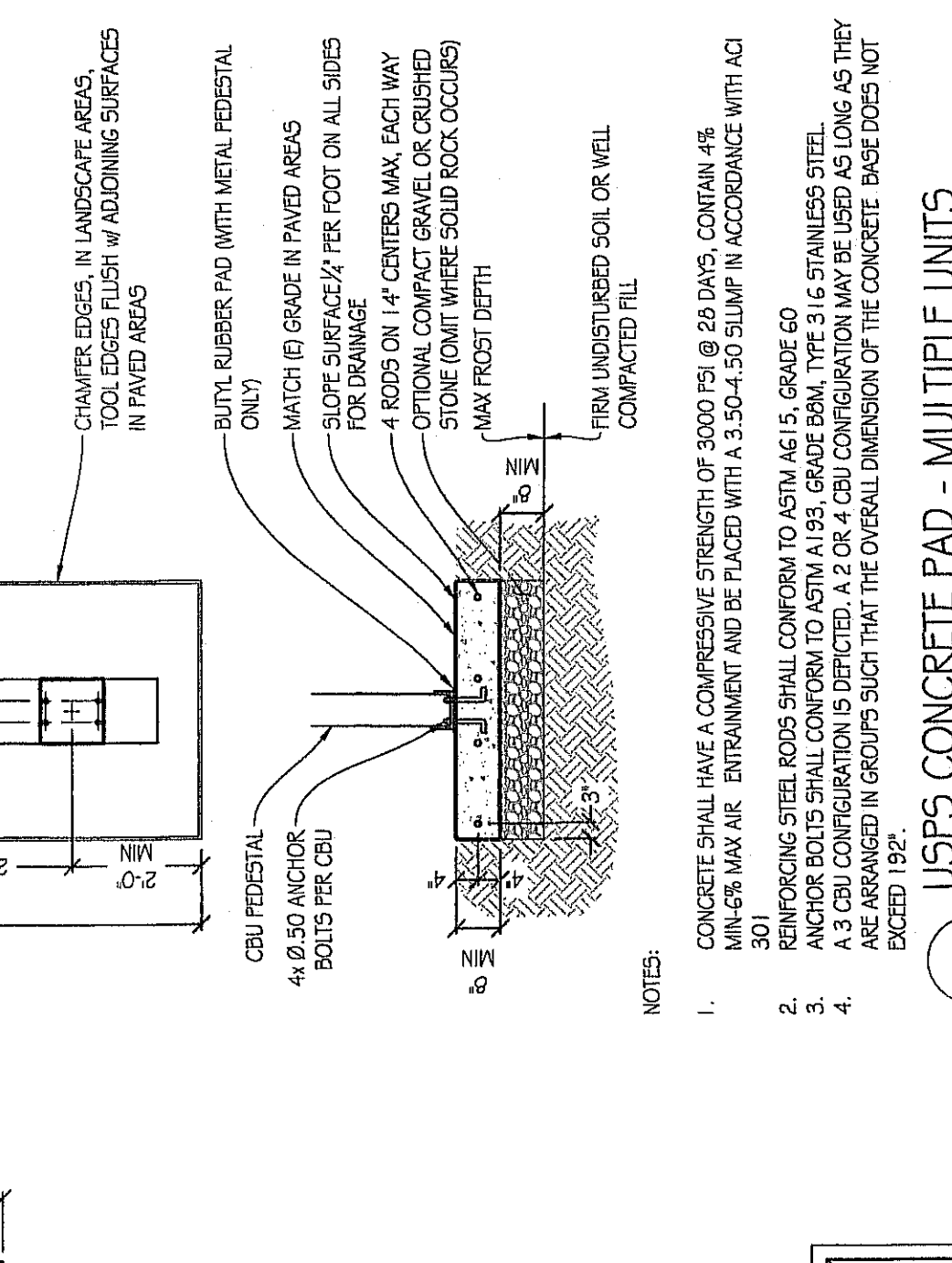
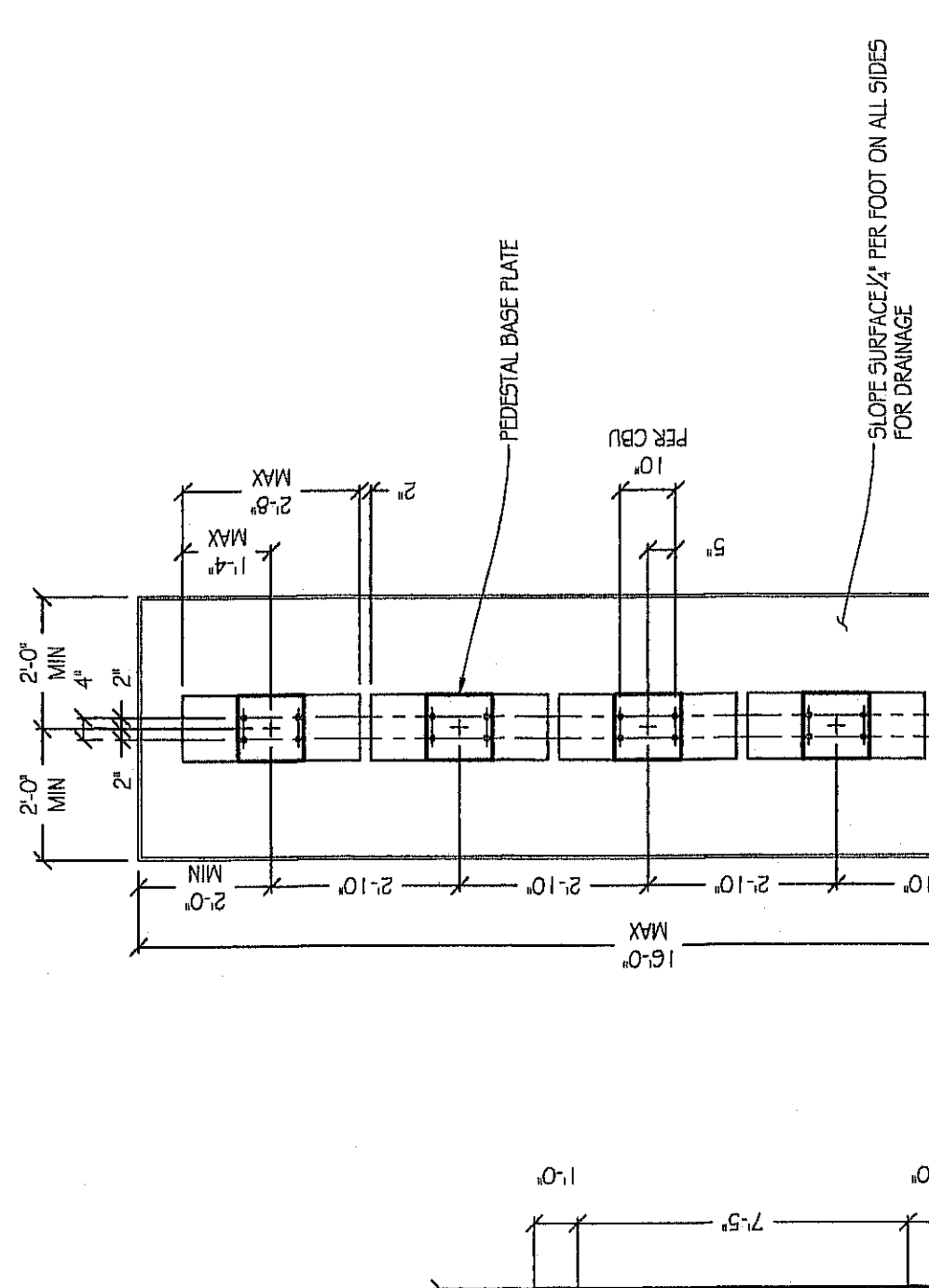
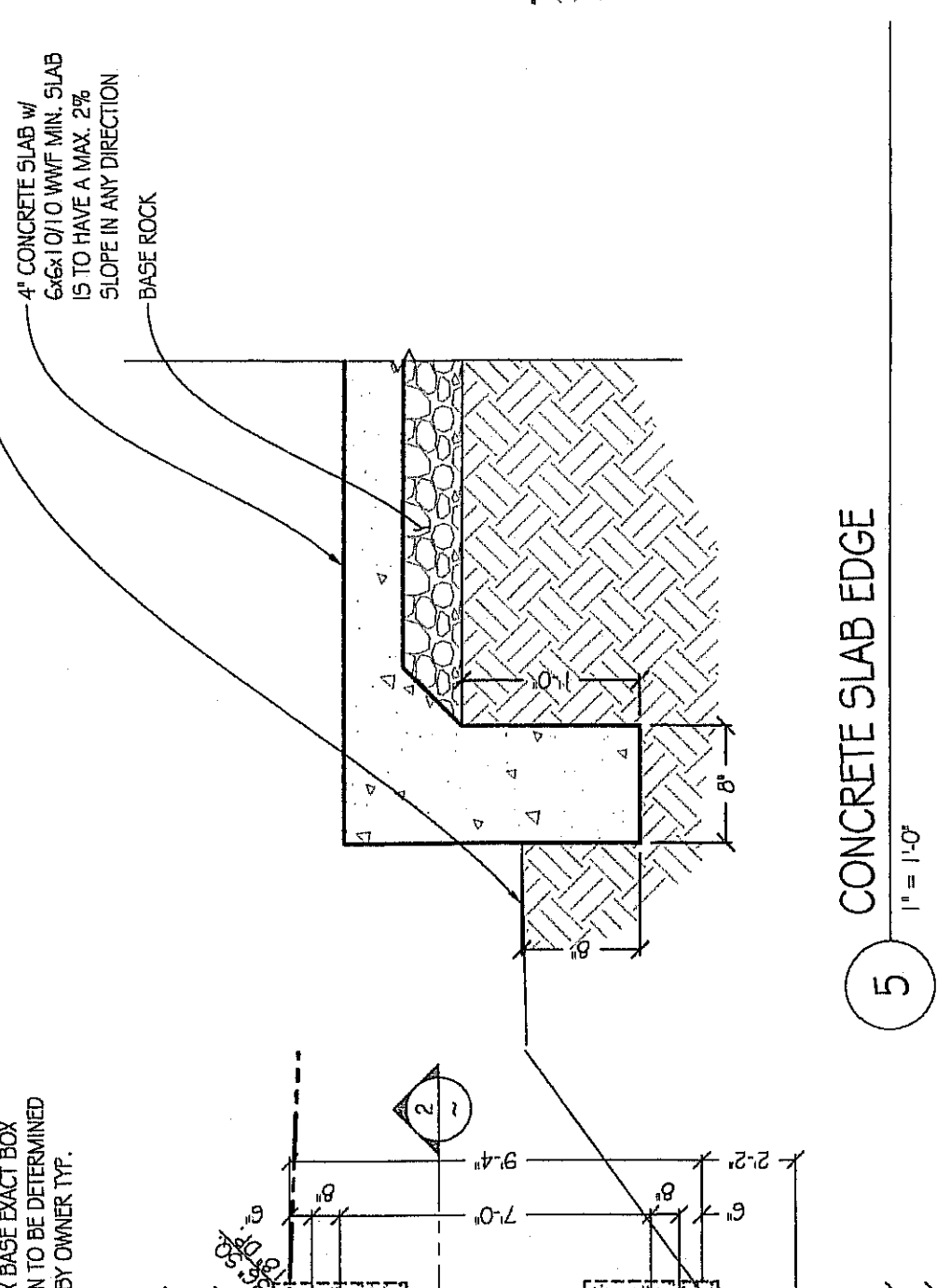
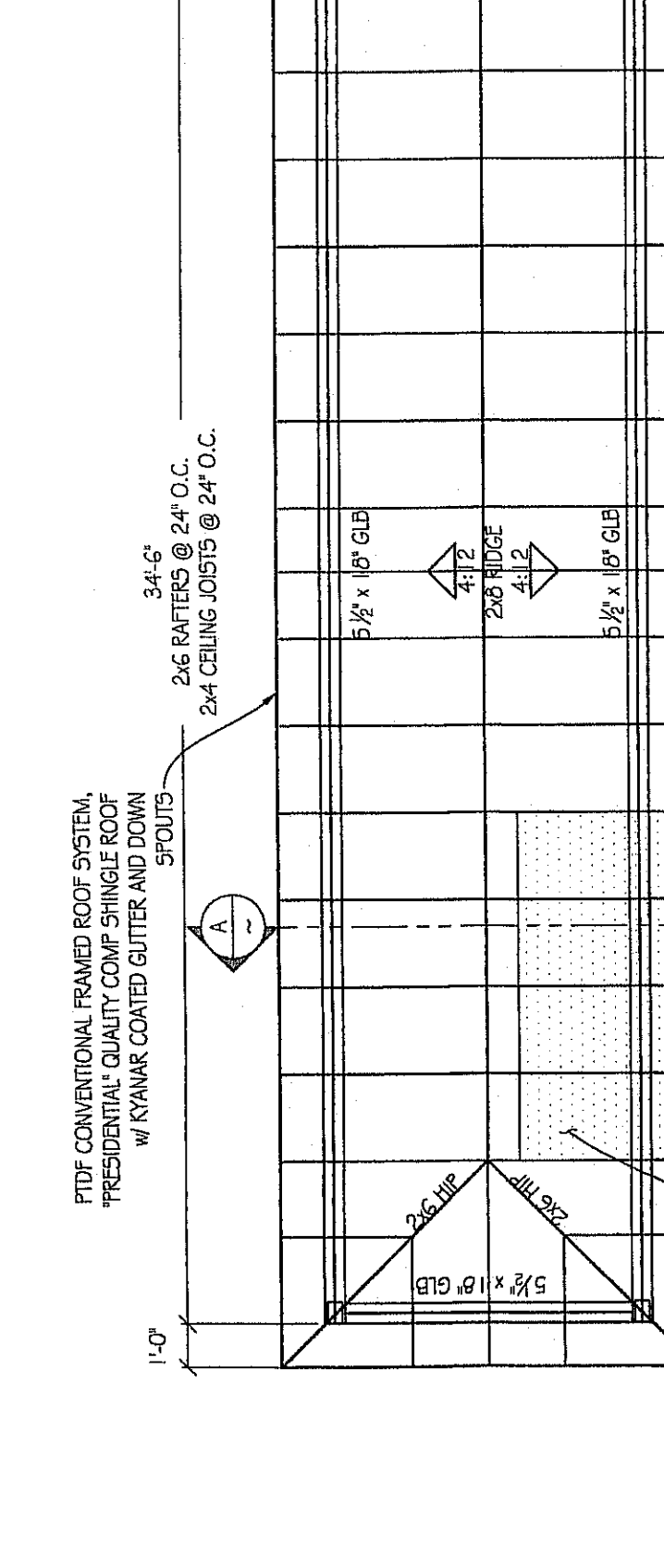
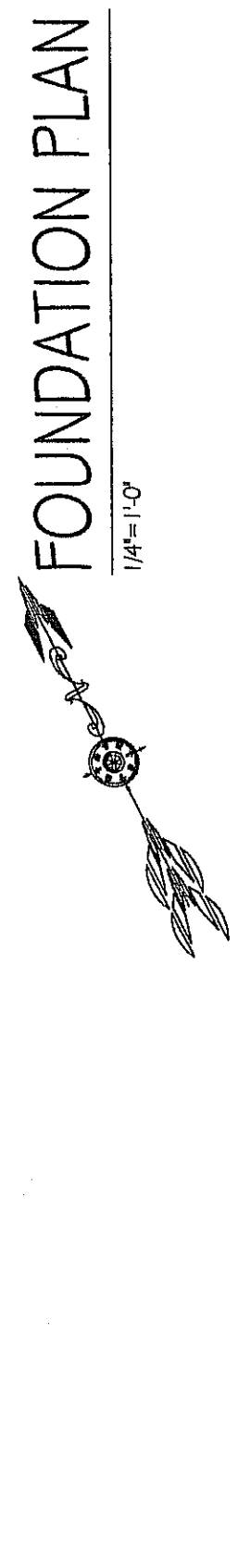
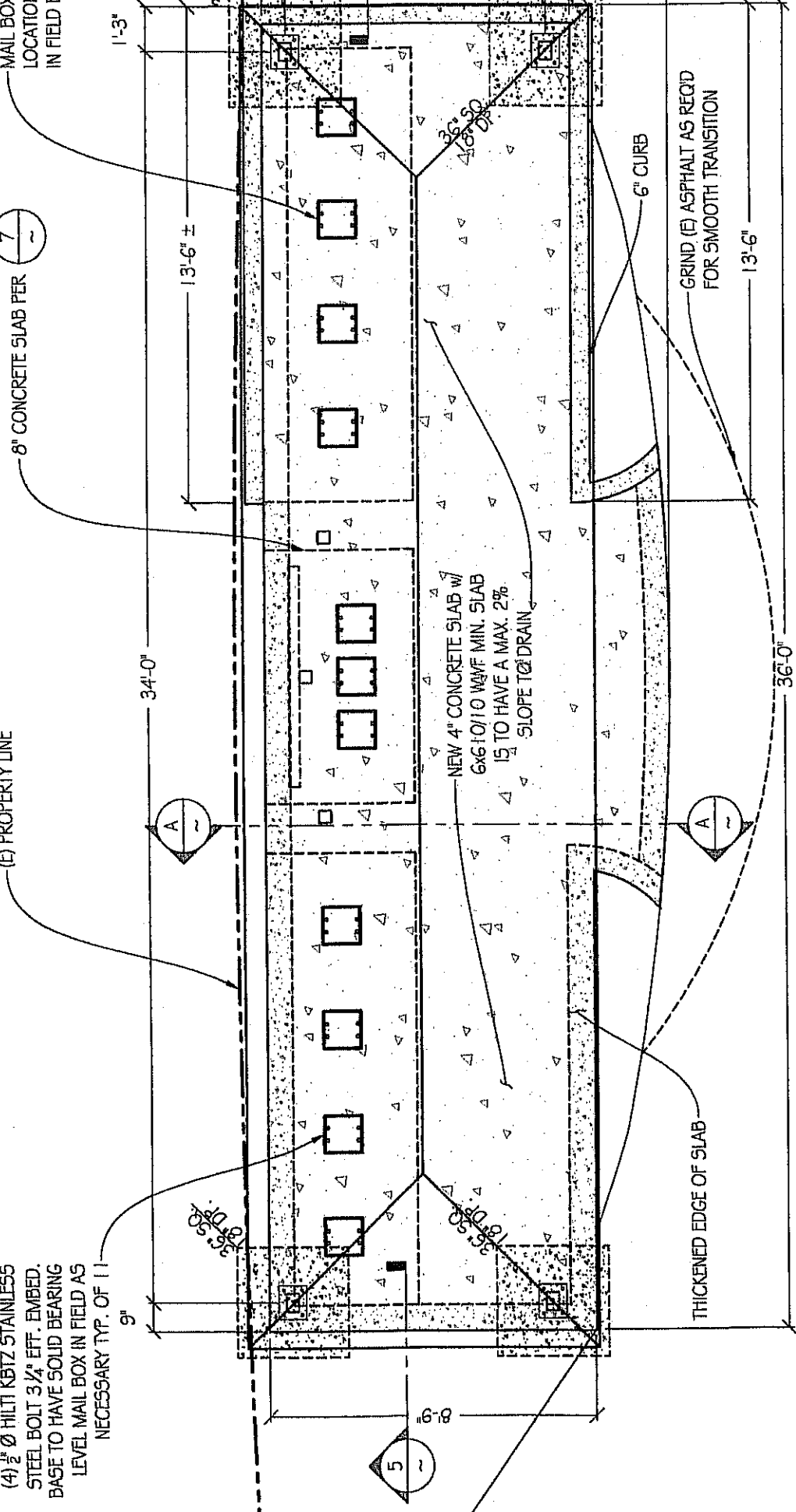
ELECTRICAL NOTES

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2016 CALIFORNIA ELECTRICAL CODE.
- ALL OUTSIDE 20 AMP GFCI RECEPTACLES SHALL BE WATERPROOF.
- OUTDOOR LIGHTING ATTACHED TO BUILDINGS: HIGH EFFICIENCY OR CONTROLLED BY MOTION SENSOR W/ MANUAL/OVERRIDE SWITCH AND PHOTO CONTROL.
- RECESSED FIXTURES: MUST BE RATED FOR INSULATION CONTACT-RATED, ARTISTIGHT(M2833) AND SEALED W/ GASKET OR CALKED BETWEEN HOUSING AND CEILING.
- A TRANSFORMER IS REQUIRED FOR ALL LOW VOLTAGE LIGHT CIRCUITS. WIRE PLUES FOR THESE CIRCUITS ACCORDINGLY.
- ELECTRICAL METER PANELS, SUB-PANELS, AND DISCONNECTS REQUIRE A MIN CLEAR WORKING SPACE OF NOT LESS THAN 30" WIDE BY 36" DEEP AND 6'-6" HIGH.
- OUTSIDE SWITCHES SHALL BE WATER PROOF.
- BOND ABOVE GROUND WATER PIPES AND ABOVE GROUND METAL GAS PIPES TO THE SERVICE GROUND.
- ALL 125 VOLT, 15 AND 20 AMPERE RECEPTACLES IN DWELLING UNITS SHALL BE TAMPER-RESISTANT.
- AN INTERSYSTEM BONDING TERMINATION FOR CONNECTION OF INTERSYSTEM BONDING CONDUCTORS REQUIRED FOR INTERSYSTEM BONDING SHALL BE PROVIDED AT THE SERVICE EQUIPMENT OR METERING EQUIPMENT ENCLOSURE. THE INTERSYSTEM BONDING TERMINATION SHALL CONSIST OF A SET OF TERMINALS WITH THE CAPACITY FOR CONNECTION OF NOT LESS THAN THREE INTERSYSTEM BONDING CONDUCTORS.

CONCRETE NOTES

- ALL SUBS CONCRETE SHALL BE MINIMUM 5 SACK MIX WITH MINIMUM 28 DAY STRENGTH OF 2,500 PSI.
- CONCRETE MIX DESIGN SHALL BE PREPARED BY AN INDEPENDENT LABORATORY APPROVED BY THE STRUCTURAL ENGINEER.
- CONCRETE SHALL CONFORM TO ASTM C-150 TYPE II.
- CONCRETE AGGREGATES SHALL CONFORM TO ASTM C-33.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 FOR #4 AND LARGER AND ASTM A615 GRADE 60 FOR #3 AND SMALLER EXCEPT REINFORCING STEEL TO BE WELDED MAY CONFORM TO ASTM A706.
- ALL PRECASTING AND WELDING OF REINFORCING BARS SHALL BE DONE IN ACCORDANCE WITH ANSI D1.4 LATEST EDITION AND SHALL BE INSPECTED BY A QUALIFIED LABORATORY. CONTRACTOR SHALL FURNISH TO THE LABORATORY REBAR WELD CERTIFICATES.
- REINFORCING STEEL SHALL BE FABRICATED ACCORDING TO "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION".
- WIRE FABRIC SHALL CONFORM TO ASTM A-185. MUST BE CENTERED IN SLAB.
- DIMENSIONS SHOWN FOR LOCATION OF REINFORCING ARE TO THE FACE OF MAIN BARS AND DENOTE CLEAR COVERAGE. CONCRETE COVER SHALL BE AS FOLLOWS:

CONCRETE DEPOSITED DIRECTLY AGAINST (EXCEPT SLABS)	3"
CONCRETE AGAINST FORMS	2"
CONCRETE AGAINST MAIN BARS	2"
CONCRETE AGAINST OTHER REINFORCING	2"
BEAMS (TOP BARS)	2"
BEAMS (ALL OTHER MAIN REINFORCING)	1 1/2"
WALLS (EXTERIOR FACE)	1 1/2"
WALLS (INTERIOR FACE)	3/4"
SLABS (ON FORMS)	3/4"
SLABS (ON GROUND)	2" CLEAR FROM TOP U.N.O.
- SPLICES IN CONTINUOUS REINFORCEMENT SHALL BE 40 BAR DIAMETERS AND SPICES IN ADJACENT BARS SHALL BE NOT LESS THAN 5'-0" APART. SPLICES CONTINUOUS BARS IN SPANDRILS, GRADE SUPPORT, UNLESS NOTED OTHERWISE. SPLICES IN WWF SHALL BE 1'-10" MINIMUM WIDE.
- CONSTRUCTION Joints shall be made rough and all allowance removed from the surface. CONCRETE MAY BE REINFORCED BY CHIPPING THE ENTIRE SURFACE, SAND BLASTING, OR RAKING THE SURFACE TO PROVIDE 1/4" DEEP DEFORMATIONS.
- REMOVE ALL DEBRIS FROM FORMS BEFORE CASTING ANY CONCRETE.
- REINFORCING, DOMESLS, BOLTS, ANCHORS, SLEEVES, ETC. TO BE EMBEDDED IN CONCRETE SHALL BE SECURELY POSITIONED BEFORE POURING CONCRETE.
- MAXIMUM FREE FALL OF CONCRETE SHALL BE 6'-0".
- WALLS SHALL BE CAST IN HORIZONTAL LAYERS OF 2'-0" MAXIMUM DEPTH.
- CONCRETE IN WALLS, PIERS OR COLUMNS SHALL SET AT LEAST 2 HOURS BEFORE PLACING CONCRETE IN BEAMS, SPANDRILS OR SLABS SUPPORTED THEREON.
- HORIZONTAL WALL BARS IN DOUBLE LAYER WALLS SHALL BE STAGGERED.
- DO NOT ALLOW VERTICAL REINFORCING IN WALLS AND COLUMNS FROM FOUNDATION WITH SAME SIZE BAR.
- CONSOLIDATE CONCRETE PLACED IN FORMS BY MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND-SPADING, ROADING OR TAMPING. USE EQUIPMENT AND PROCEDURES FOR CONSOLIDATION OF CONCRETE IN ACCORDANCE WITH THE RECOMMENDED PRACTICES OF ACI 309 TO SUIT THE TYPE OF CONCRETE AND PROJECT CONDITIONS.
- DRILL THROUGH STEEL COLUMNS, BEAMS AND PLATES TO PASS CONTINUOUS REINFORCING.
- NO WOOD SPREADERS ALLOWED. NO WOOD STAKES ALLOWED IN AREAS TO BE CONCRETED.
- ADDITIONAL REINFORCING IN PRECAST OR TILT-UP PANELS REQUIRED FOR LIFTING STRESSES SHALL BE SUPPLIED BY CONTRACTOR.
- PROVIDE 2-#5@4'-0" DIAGONAL REINFORCING AT MID DEPTH OF SLAB AT ALL REBAR CORNERS, TYPICAL.
- ALL SAW CUTTING SHALL BE DONE AFTER INITIAL SET HAS OCCURRED TO AVOID TEARING OR DAMAGE BY SAWBLADE, BUT BEFORE INITIAL SHRINKAGE HAS OCCURRED.
- MIN. REBAR LAP SPICE SHALL BE 48 DIAMETERS OF THE SIZE OF REBAR, UNLESS OTHERWISE NOTED. REBAR BENDS SHALL BE A MIN. 6 DIAMETERS.
- PIES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES OR OTHERWISE APPROVED METHOD. THEY MAY NOT BE EMBEDDED.



PRECISION DESIGN
ARCHITECTURE ENGINEERING SURVEYING
1768 ATWOOD RD, STE 20
AUBURN, CA 95603
(530) 823-6546
WWW.PDND.COM

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT INFORMATION
SADDLEBACK COMMUNITY ROAD ASSOC.
P.O. BOX 669
AUBURN, CA 95604

MAIL BOX SHELTER
BLUE GRASS DR
AUBURN, CA 95602

PRECISION DESIGN
ARCHITECTURE ENGINEERING SURVEYING
1768 ATWOOD RD, STE 20
AUBURN, CA 95603
(530) 823-6546
WWW.PDND.COM

MAIL BOX SHELTER
BLUE GRASS DR
AUBURN, CA 95602

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT INFORMATION
SADDLEBACK COMMUNITY ROAD ASSOC.
P.O. BOX 669
AUBURN, CA 95604

PRECISION DESIGN
ARCHITECTURE ENGINEERING SURVEYING
1768 ATWOOD RD, STE 20
AUBURN, CA 95603
(530) 823-6546
WWW.PDND.COM

MAIL BOX SHELTER
BLUE GRASS DR
AUBURN, CA 95602

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT INFORMATION
SADDLEBACK COMMUNITY ROAD ASSOC.
P.O. BOX 669
AUBURN, CA 95604

PRECISION DESIGN
ARCHITECTURE ENGINEERING SURVEYING
1768 ATWOOD RD, STE 20
AUBURN, CA 95603
(530) 823-6546
WWW.PDND.COM



Top: The edge of the easement for Blue Grass Drive extends to the edge of pavement, where the red arrow is pointed. The shelter is 0 feet from the edge of easement where a 50 foot setback is normally required.

Bottom: Blue Grass Drive slopes downhill from Dry Creek Road before flattening out. Shown here is the slope and the Dry Creek crossing.





Top: The row of trees to the east of the shelter provide natural screening of the shelter.



Bottom: Shown here is the existing light pole. This picture also provides another shot of the row of trees. If the shelter were to be moved 50 feet back from the edge of easement, some of these trees would need to be removed. Without the trees, the shelter and motorists stopping at the shelter would be in full view of the property owner's home, which would deprive the property of a sense of privacy.

**MEMORANDUM**

TO: KALLY KEDINGER-CECIL, PLANNING SERVICES DIVISION

FROM: CRISTINA LUPERCIO, ENGINEERING AND SURVEYING DIVISION (x3015)

**SUBJECT: PLN18-00125; SADDLEBACK VARIANCE; BLUE GRASS DR; AUBURN
(APN: 076-390-001)**

DATE: MAY 1, 2018

The applicant is requesting a setback variance. The Engineering and Surveying Division (ESD) **supports** the Development Review Committee's recommendation for this application, subject to the following conditions of approval:

1. Any entrance temporary or permanent structure proposed shall be located such that there is no interference with driver sight distance as determined by the Engineering and Surveying Division, and shall not be located within the right-of-way.
2. An Encroachment Permit shall be obtained from the Department of Public Works and Facilities (DPWF) for any work performed within the right-of-way.



**Placer County
Health and Human Services Department**

MEMORANDUM
Environmental Health Division

Date: April 13, 2018
To: Zoning Administrator
From: Joey Scarbrough, Technical Specialist
Subject: PLN18-00125 Saddleback Community Mailbox Variance, APN 076-390-001

Environmental Health has reviewed the above submittal and has no concerns or conditions of approval.

Perspective, Hope, and Opportunity